

DETROIT REGIONAL CONVENTION FACILITY AUTHORITY  
request for review of

# CONCEPTUAL SITE PLAN

For  
SECOND AVENUE EXTENSION

01/04/2024



# Detroit / DRCFA / Sterling Group (JLA)

## Memorandum of Understanding

January 4, 2024

Date: March 2023 (Revisions being discussed currently)

### 1. Conference Center Expansion (CCE)

- Tunnel Connection - Sterling Group Property to DRCFA Property
- Sky Bridge Connection - Sterling Group Property to DRCFA Property
- 1000 Parking Spaces within CCE for Sterling Group Hotel - 99 Year Lease

### 2. Second Street Extension - Atwater to Congress

- Construct Roadway from Atwater to Congress across M-10
- Pedestrian Pathway, Bicycle Pathway
- Pedestrian Experience
- Direct Pedestrian and Vehicular access between properties

# Detroit / DRCFA / Sterling Group (JLA)

## Memorandum of Understanding

January 4, 2024

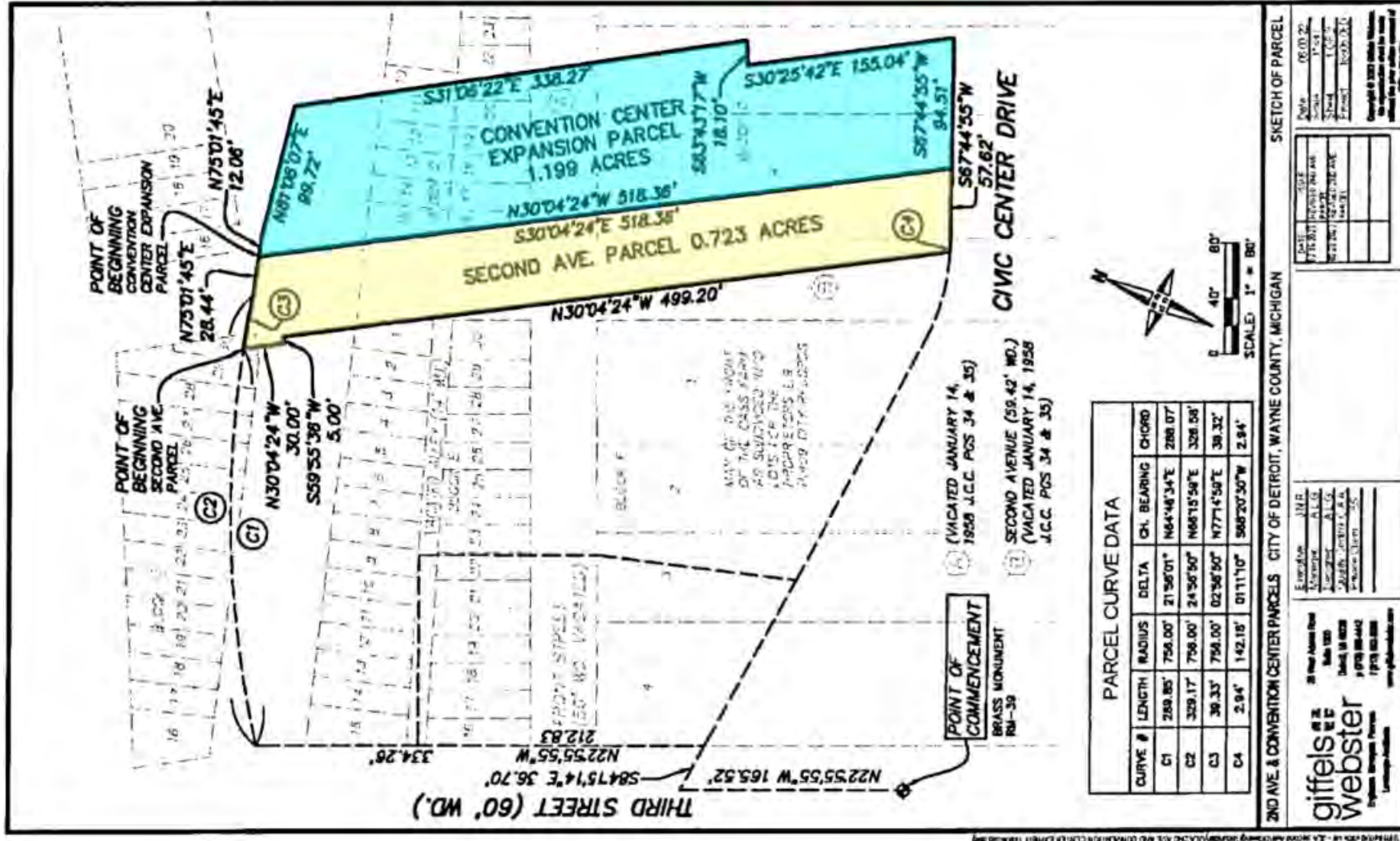
### 3. Recitals

- The City has agreed to assist the Developer in obtaining all required consents, permits and licenses. In addition, the City will implement the required lot split to create the Conference Center Expansion Parcel and the Second Avenue Parcel, and will provide such other approvals and authorizations necessary for purposes of developing the Property upon the terms and conditions set forth herein (all such assistance is referred to as "City Assistance"). City Assistance is in every instance expressly subject to all applicable laws.

### 4. Specific Timelines for Completion of Projects (Revisions being discussed currently)

# Second Ave. and CCE Parcels

January 4, 2024



# Conference Center Expansion- Conceptual Site Plan

January 4, 2024



Listen. Solve. Deliver.



# Conference Center Expansion– Conceptual Program Scope

---

January 4, 2024

## Second Avenue Extension

- Vehicle and Pedestrian Walk-way between Congress and Atwater
  - 2 Phases
    - Vehicular Drive
      - Initial Phase Shared Common Wall – Second Ave. & Sterling Group Hotel
      - Final Phase – Roadway, Bridges, Overpass & Connection to Atwater & Congress
    - Pedestrian Walkway & Bicycle Pathway
- Spans across M-10 (Lodge Freeway)
- Provides connection into downtown Detroit
- Maintain Vehicular Clearance Heights for M-10 Bridge Crossings

## New Parking Deck

- New Parking Structure – number of spaces TBD
- Serving Parking Needs of Huntington Place and Sterling Group Parking Needs (1000 spaces) per Development Agreement
- Multi-Story - Precast and Steel Structure
- Includes Sky-Bridge from Huntington to Sterling Site per Development Agreement

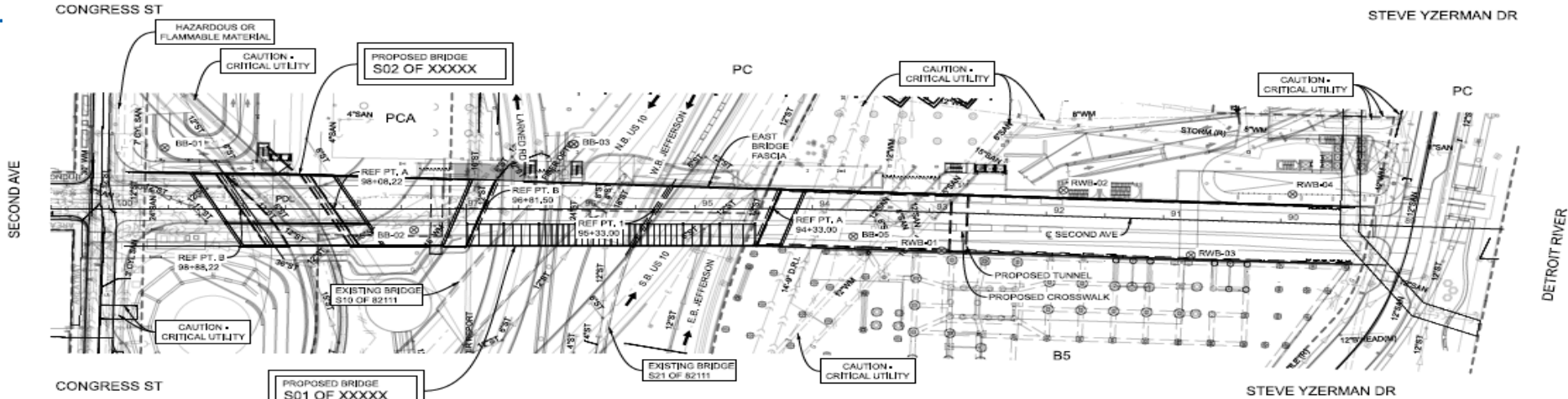
# EXISTING SITE CONDITIONS



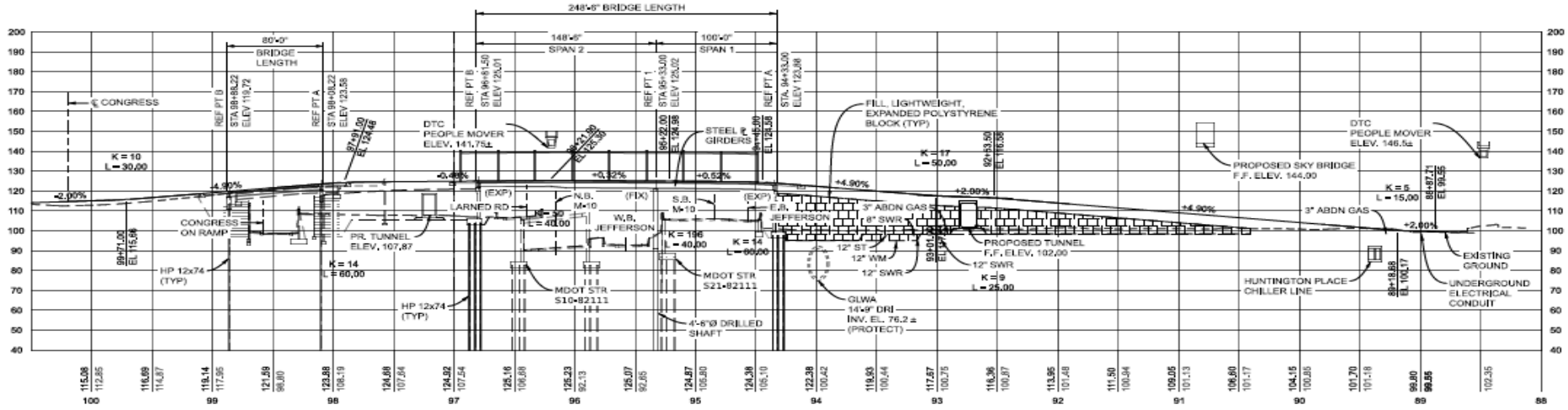
Listen. Solve. Deliver.



# GENERAL PLAN OF SITE



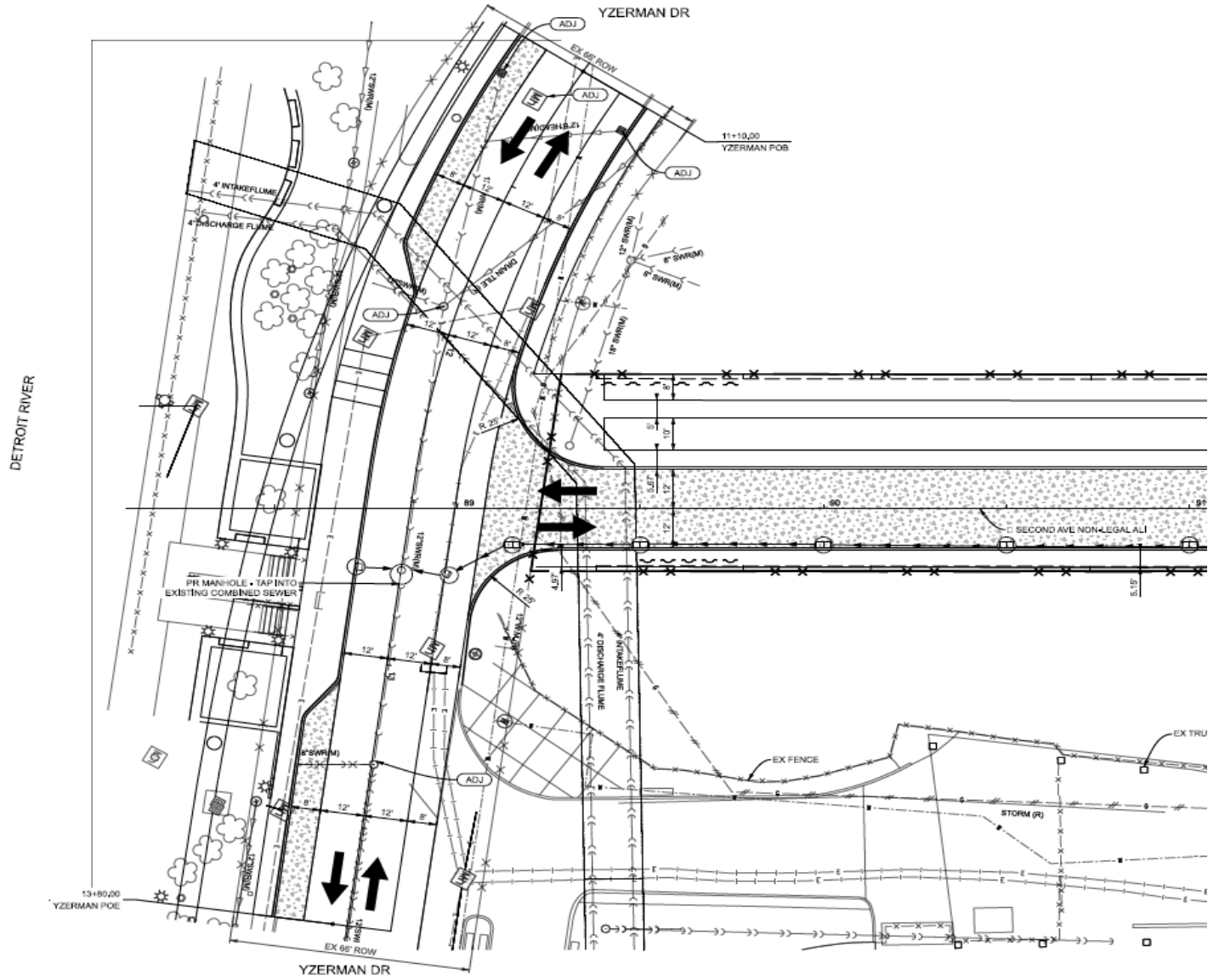
SITUATION PLAN



PROFILE AT CENTERLINE SECOND AVENUE



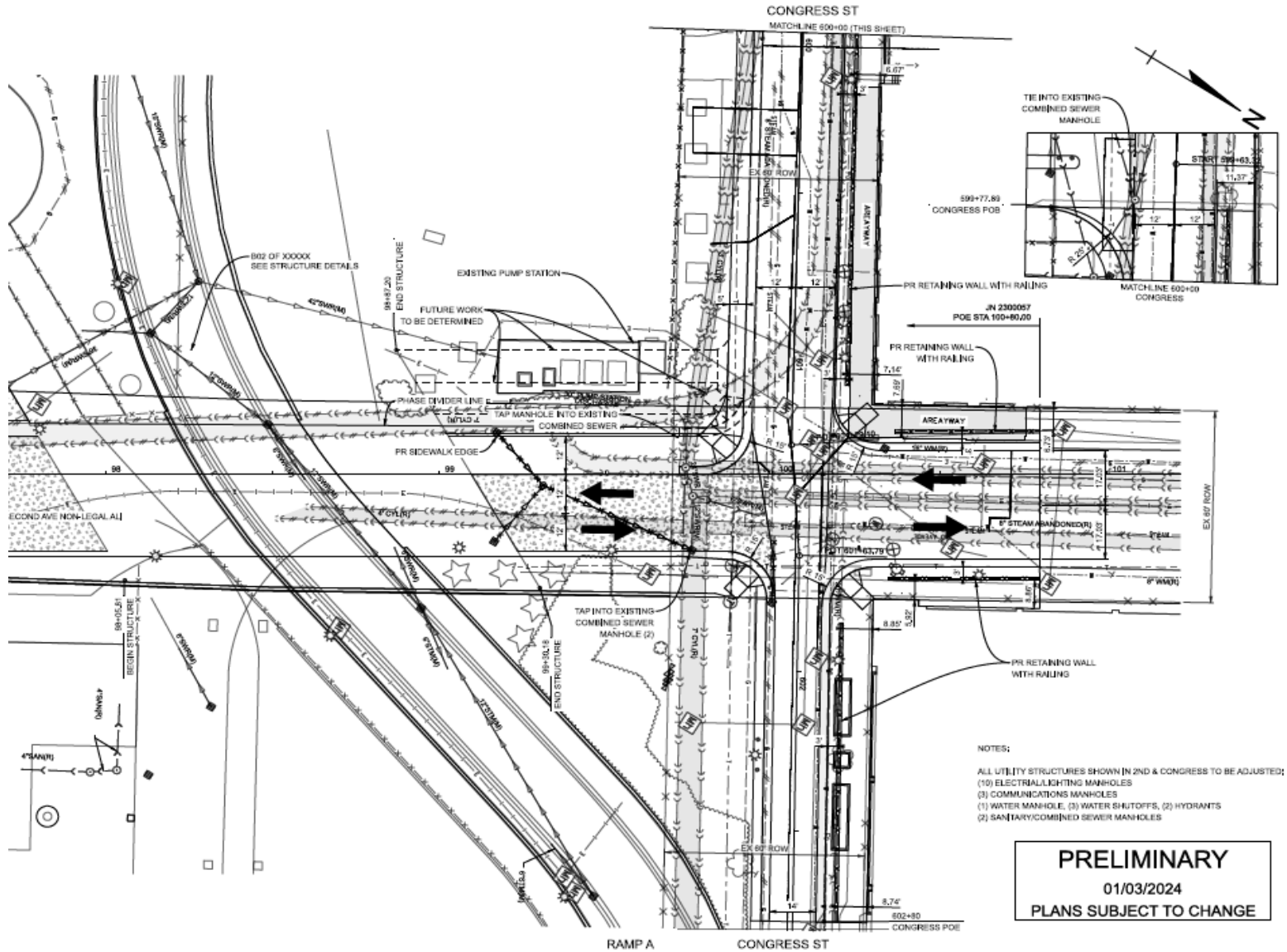
# YZERMAN DRIVE INTERSECTION



Listen. Solve. Deliver.

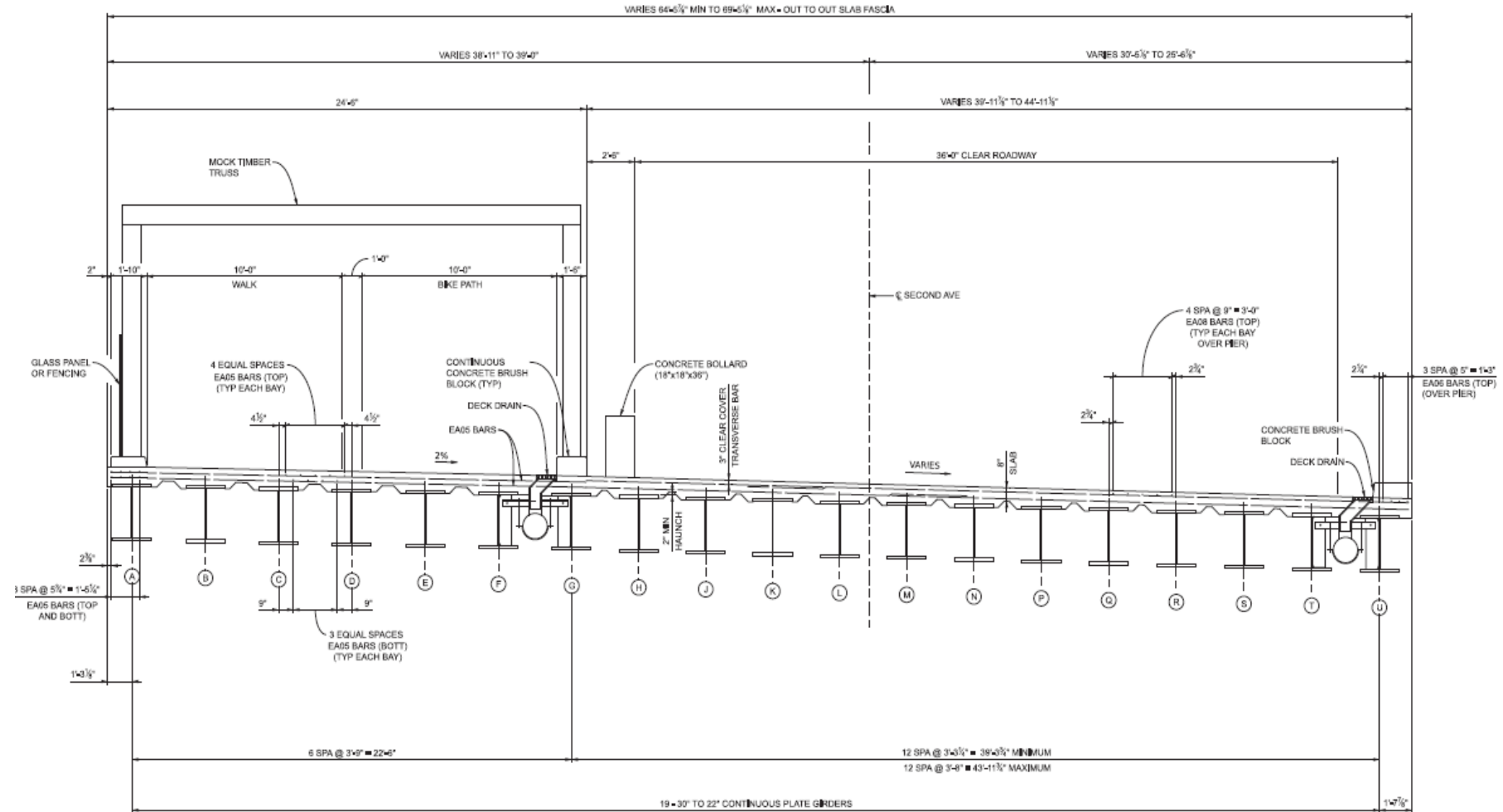


# CONGRESS STREET



Listen. Solve. Deliver.

# TYPICAL BRIDGE DECK SECTION

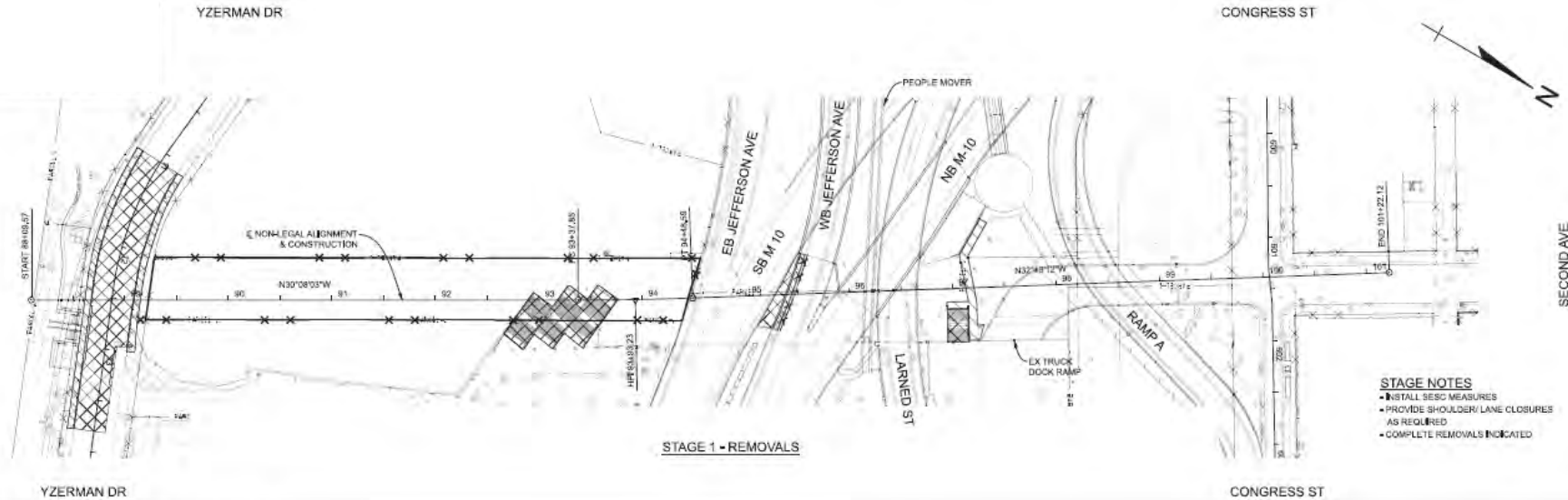


TYPICAL DECK SECTION

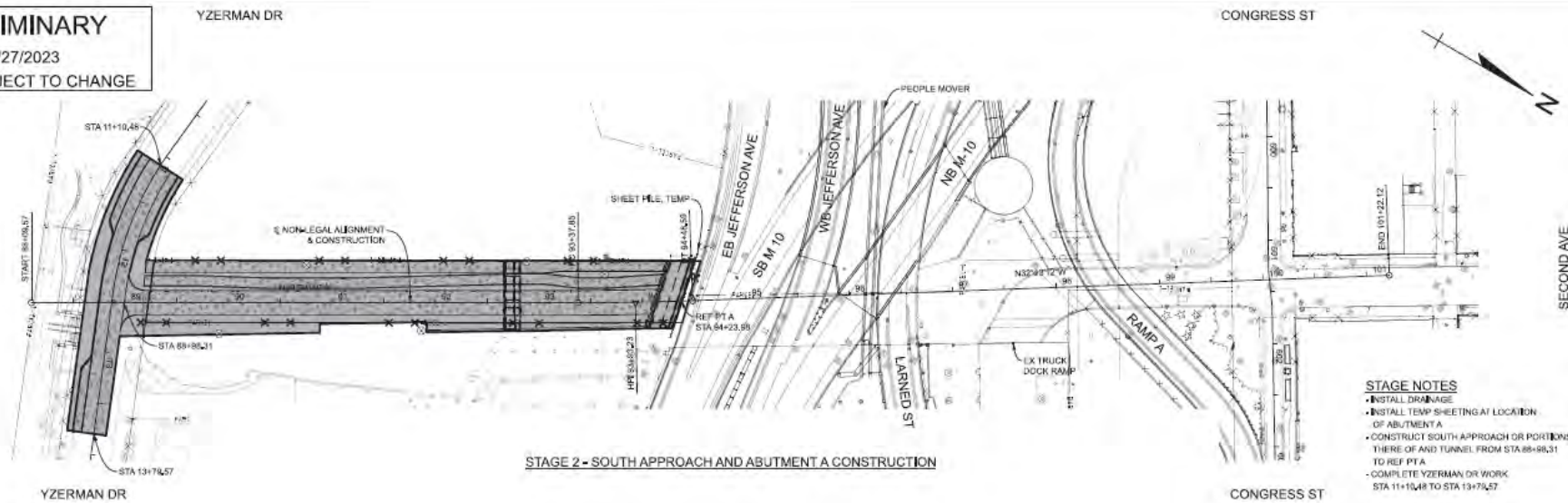
# VERTICAL CLEARANCES

FEATURE	EXISTING CLEARANCE	PROPOSED CLEARANCE
Ramp A	15.73' actual / 14'-0" posted	14'-6" (MDOT minimum requirement)
Larned St.	14.33' actual	14'-9"
NB M-10	14'-6" min / 13'-10" posted	35.59'
WB Jefferson	14'-6" min / 13'10" posted	34.44'
SB M-10	14'-0" posted; 14.1' actual	14.76'
EB Jefferson	14'-2" posted; 14.02' actual	15.7'

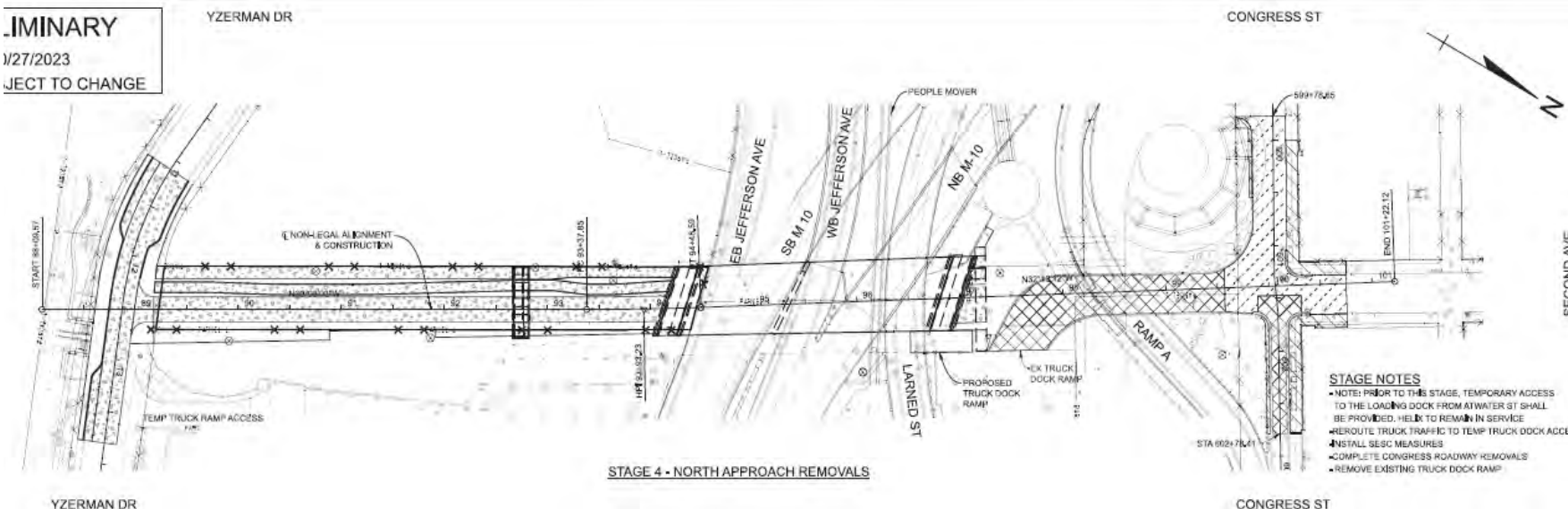
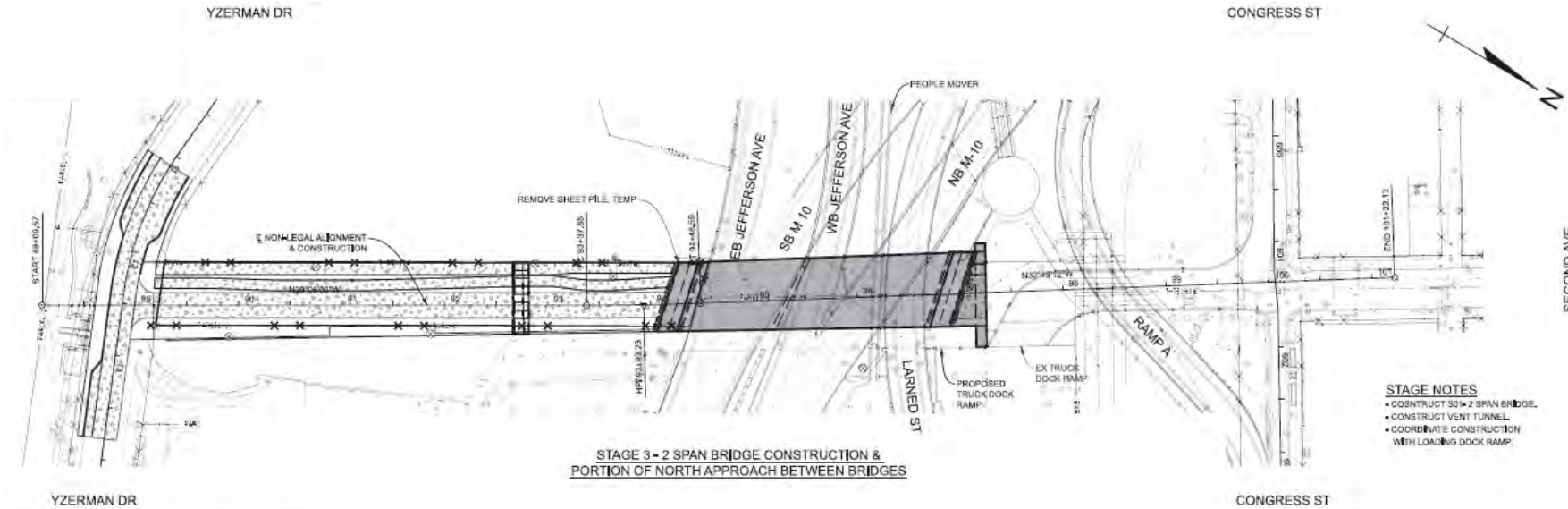
# CONSTRUCTION STAGING



**PRELIMINARY**  
10/27/2023  
PLANS SUBJECT TO CHANGE



# CONSTRUCTION STAGING



PRELIMINARY  
1/27/2023  
SUBJECT TO CHANGE

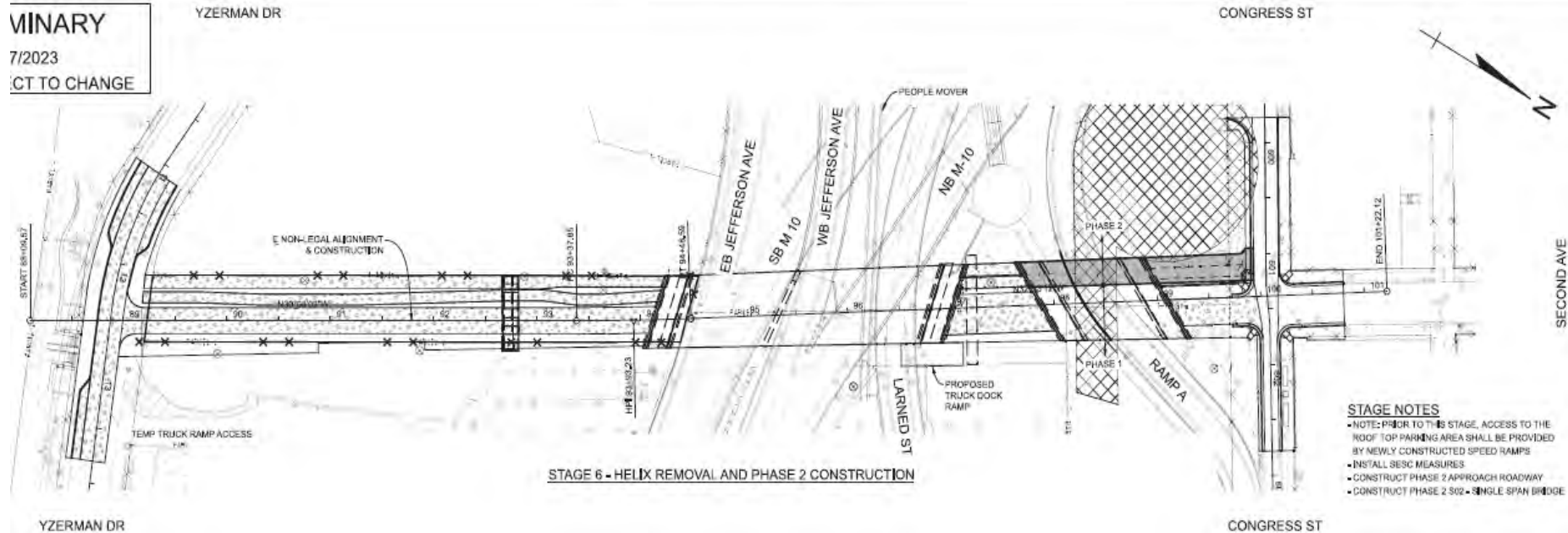
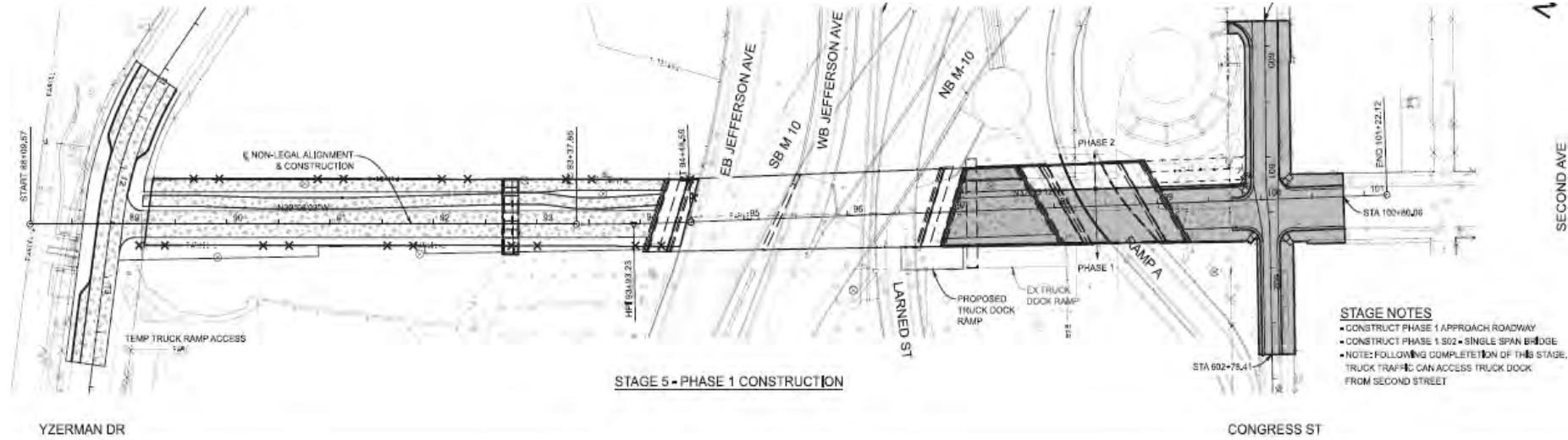
# TEMPORARY DETOUR ROUTE



Listen. Solve. Deliver.



# CONSTRUCTION STAGING



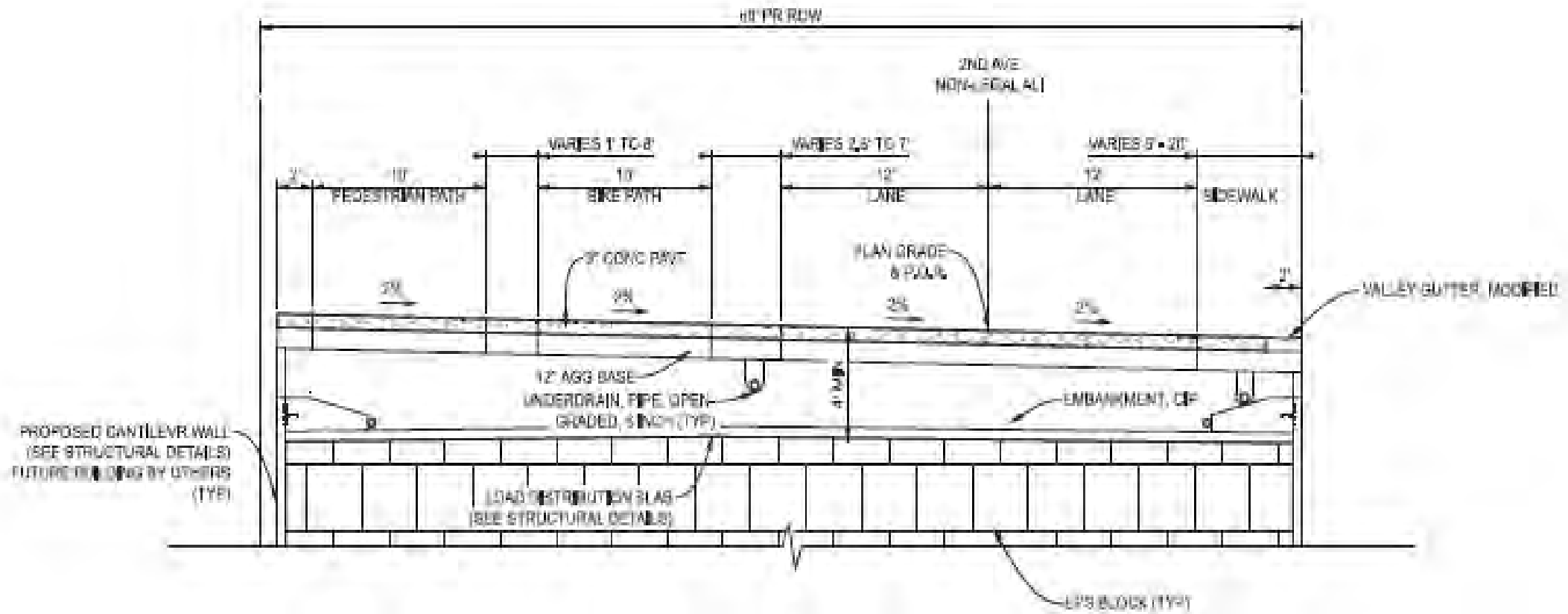
**MINARY**  
7/2023  
CT TO CHANGE

Listen. Solve. Deliver.





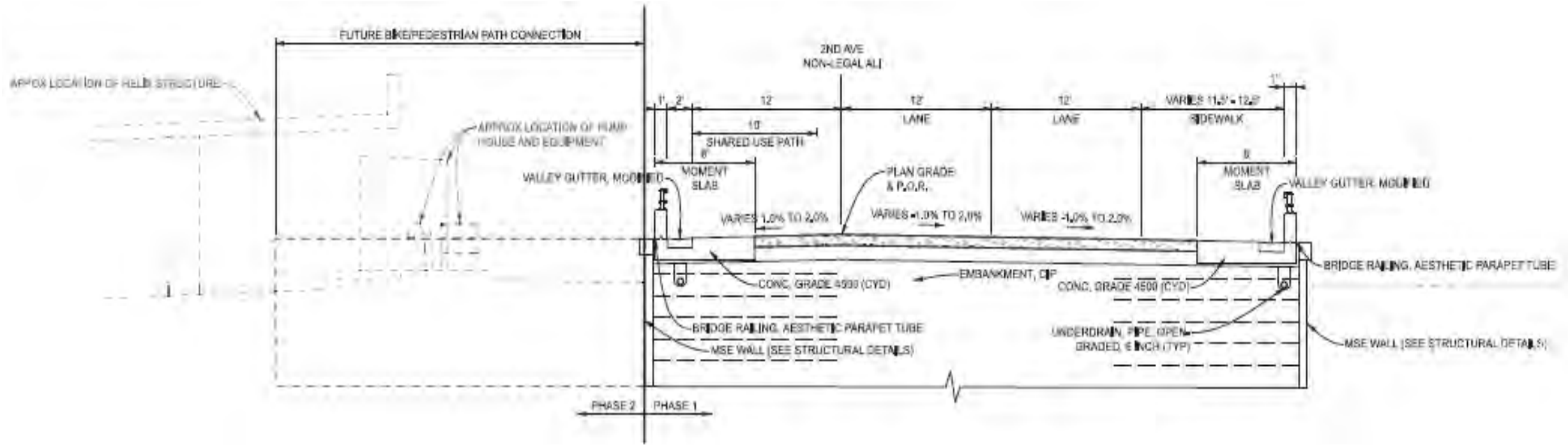
# SOUTH APPROACH SECTION



**PROPOSED TYPICAL SECTION**  
 APPLICABLE TO:  
 STA 88+86.30 (POB) TO STA 94+14.03

SEE STRUCTURAL DETAIL SHEETS FOR WALL AND EPS BLOCK DETAILS

# NORTH APPROACH SECTION

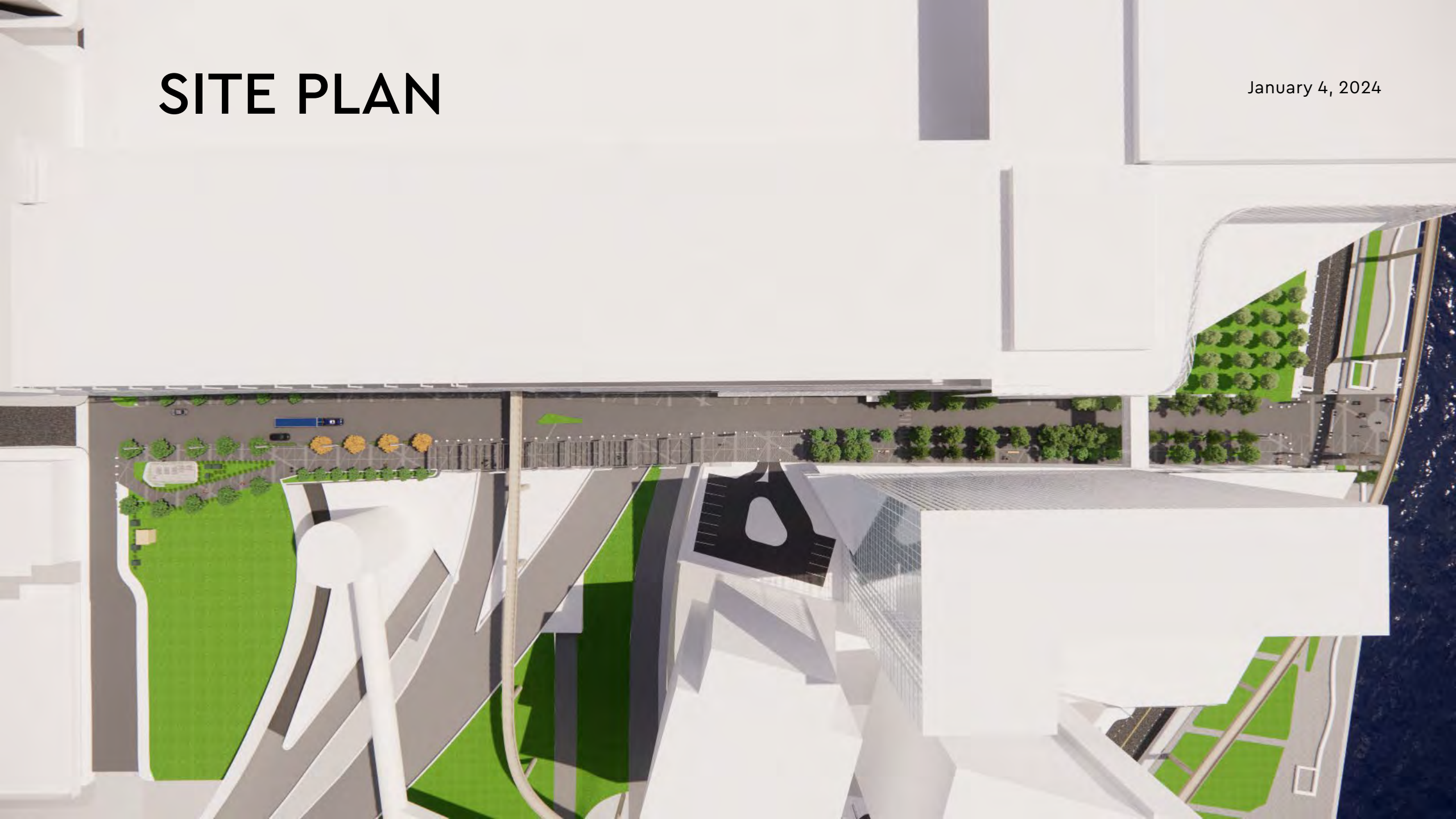


PROPOSED TYPICAL SECTION

APPLIES TO:  
STA 88+87.35 to STA 89+06.00

# SITE PLAN

January 4, 2024

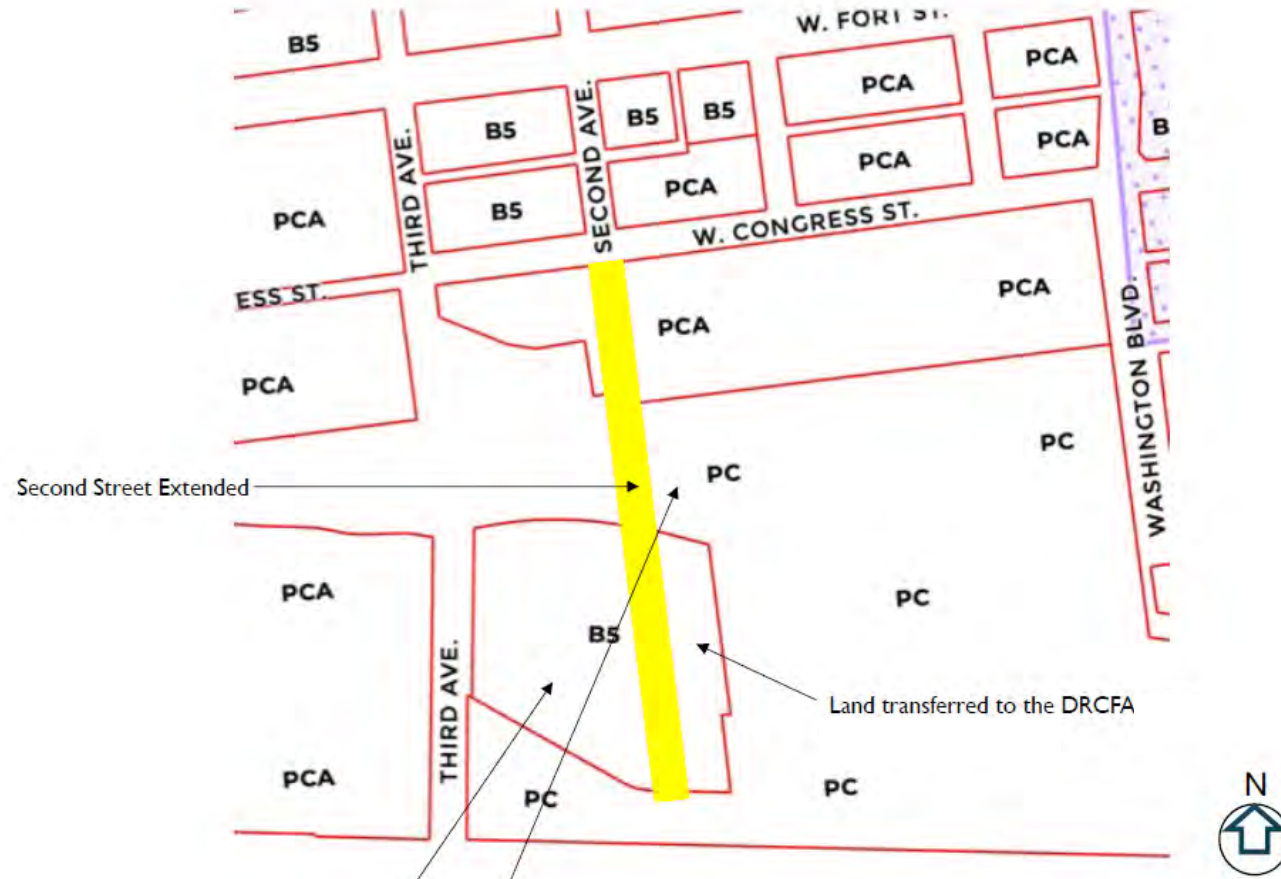


# PHASING

January 4, 2024



# ZONING



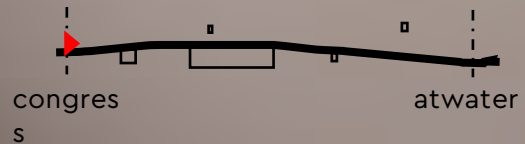
Second Street Extended

Land transferred to the DRCFA

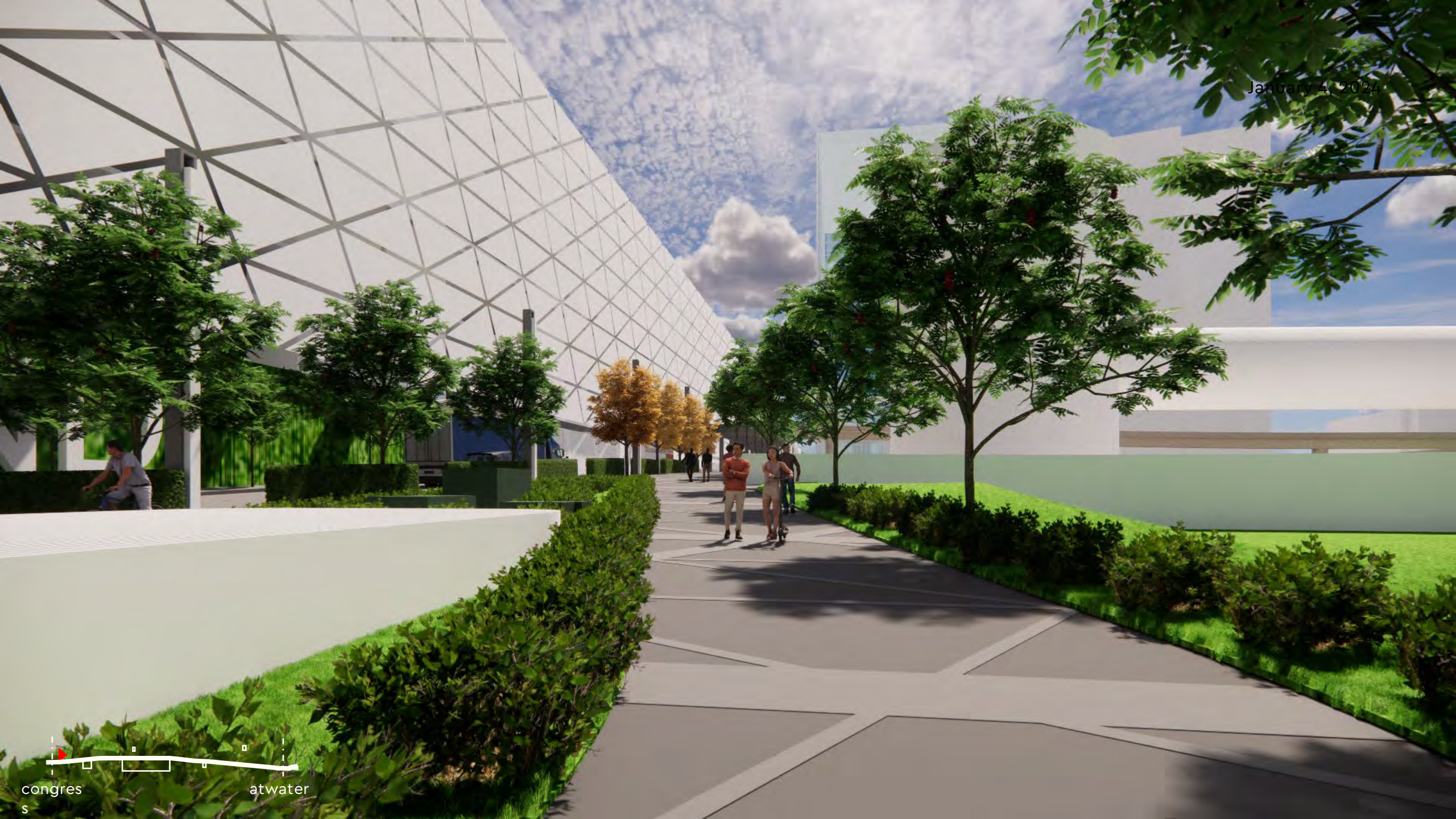
**HUNTINGTON PLACE WEST EXPANSION**  
Located in a PC/PCA zoning district the design when completed will be submitted for City Council approval per the zoning code.

**JLA SITE DEVELOPMENT**  
Located in a B5 zoning district, the various elements of the development will be submitted for review per the zoning code.

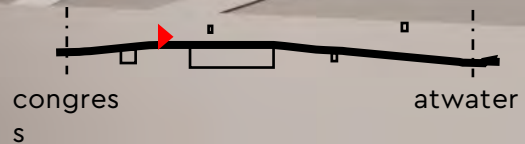
January 4, 2024



January 4, 2024

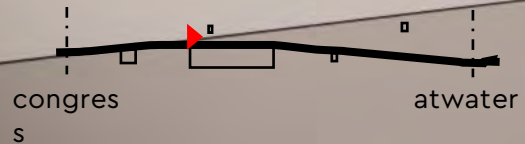
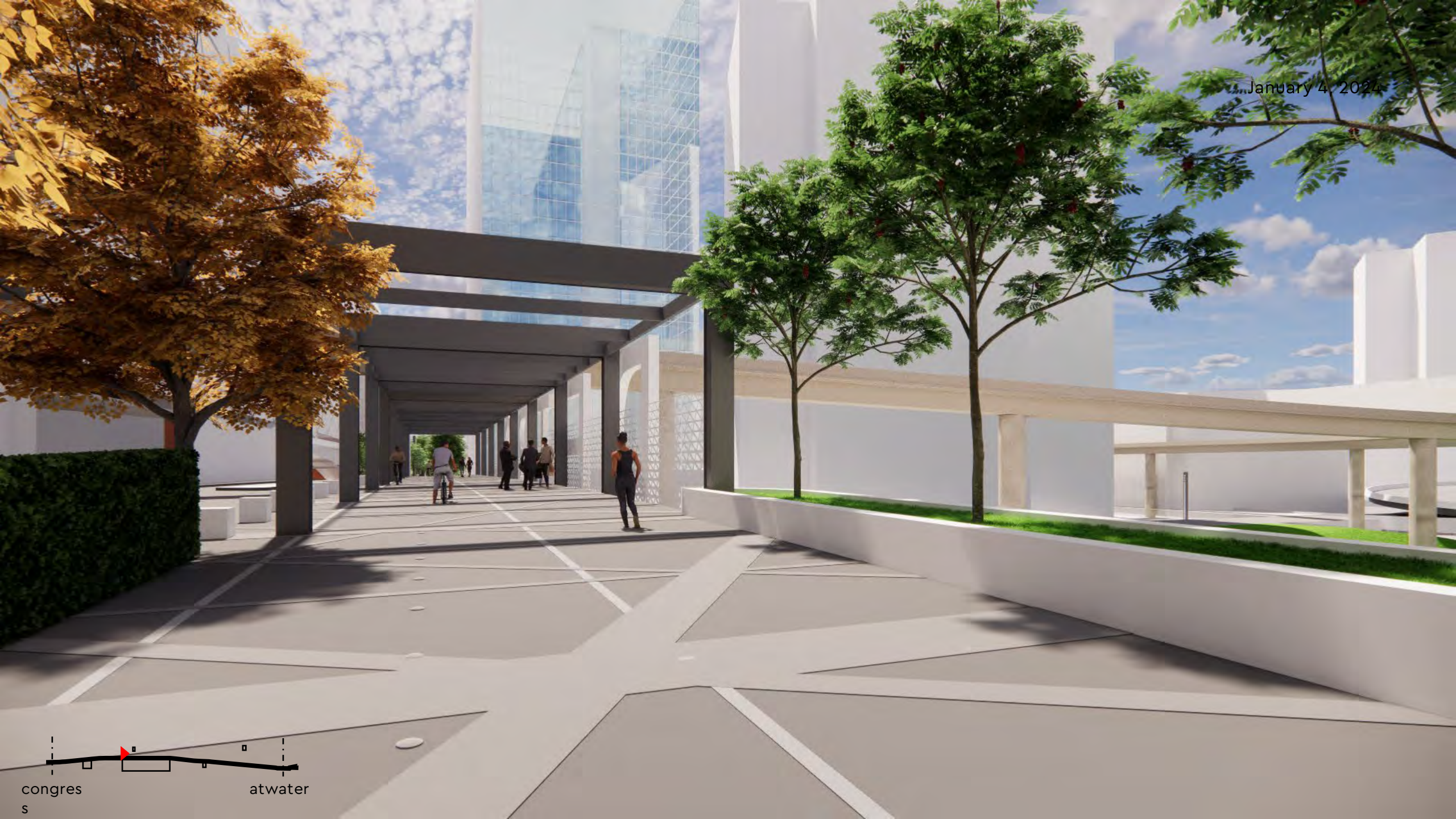


January 4, 2024





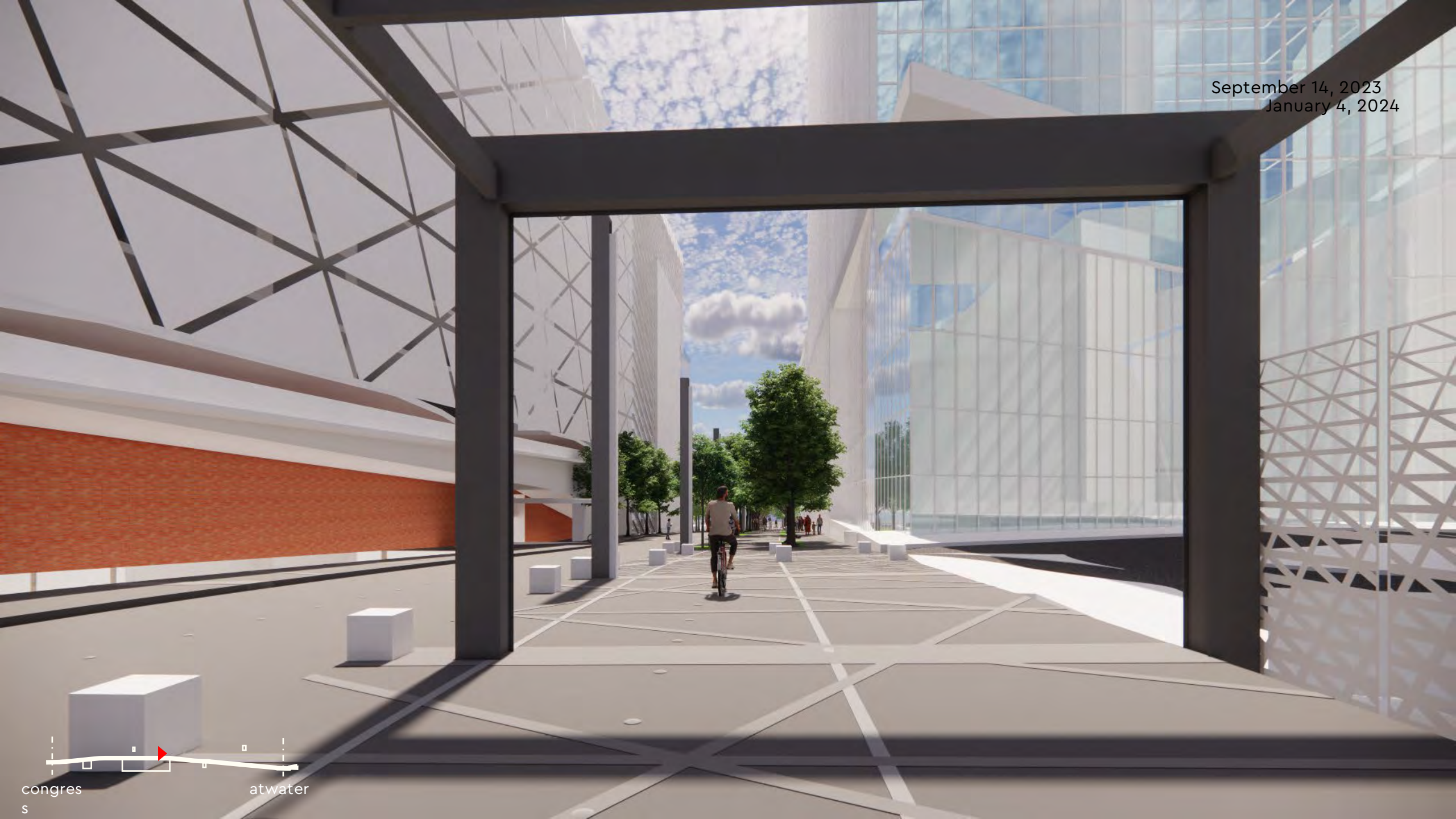
January 4, 2024



January 4, 2024



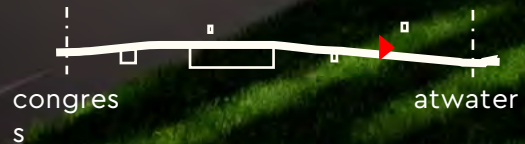
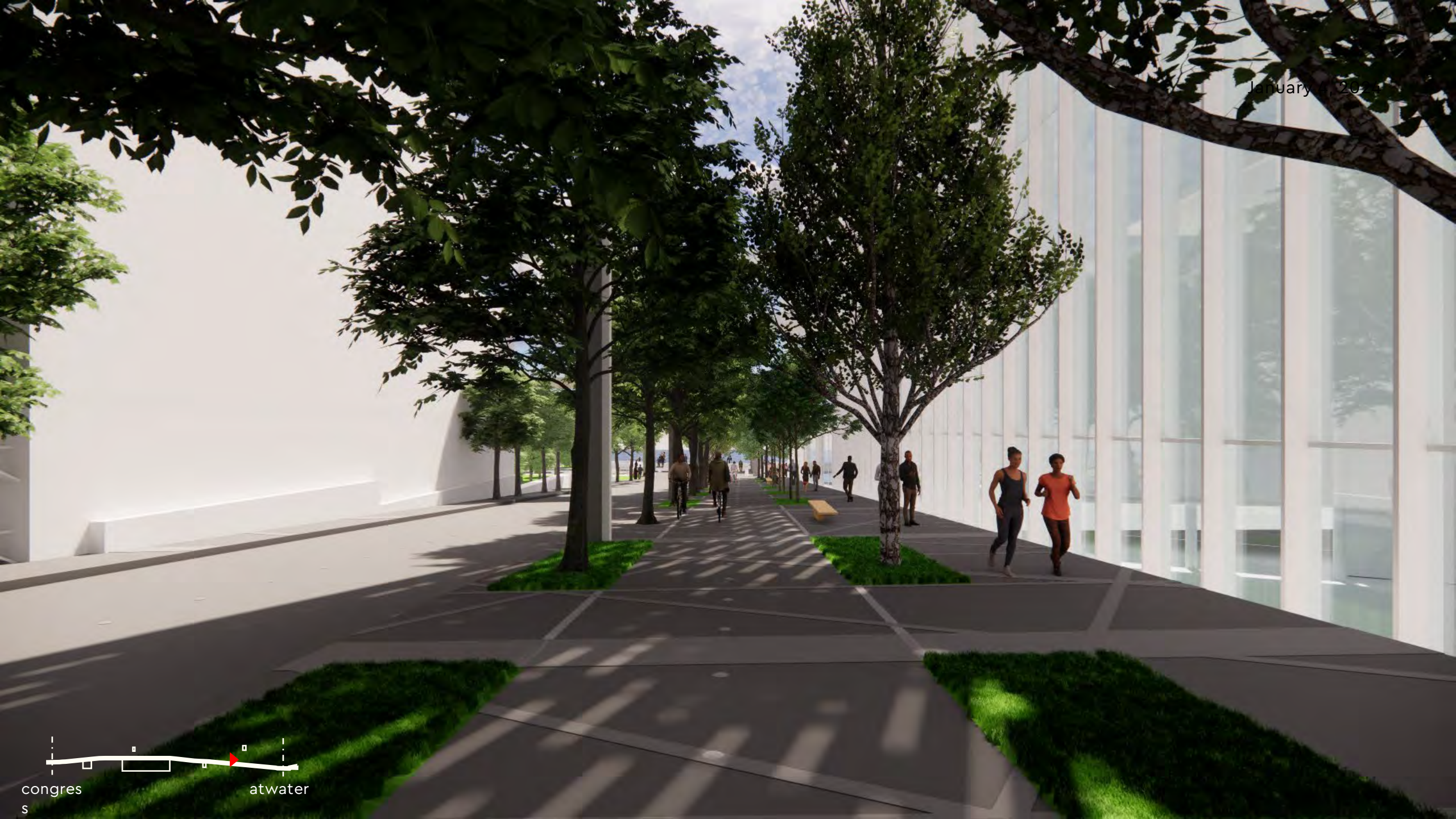
September 14, 2023  
January 4, 2024



January 4, 2025



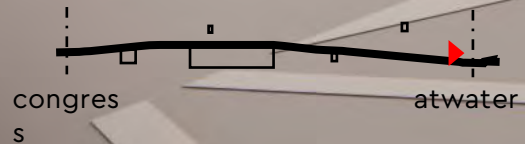
January 2021



January 4, 2025



January 4, 2024



January 4, 2024

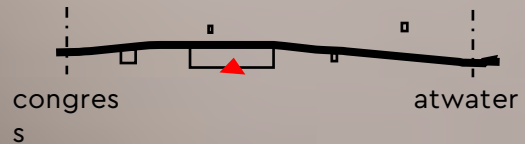
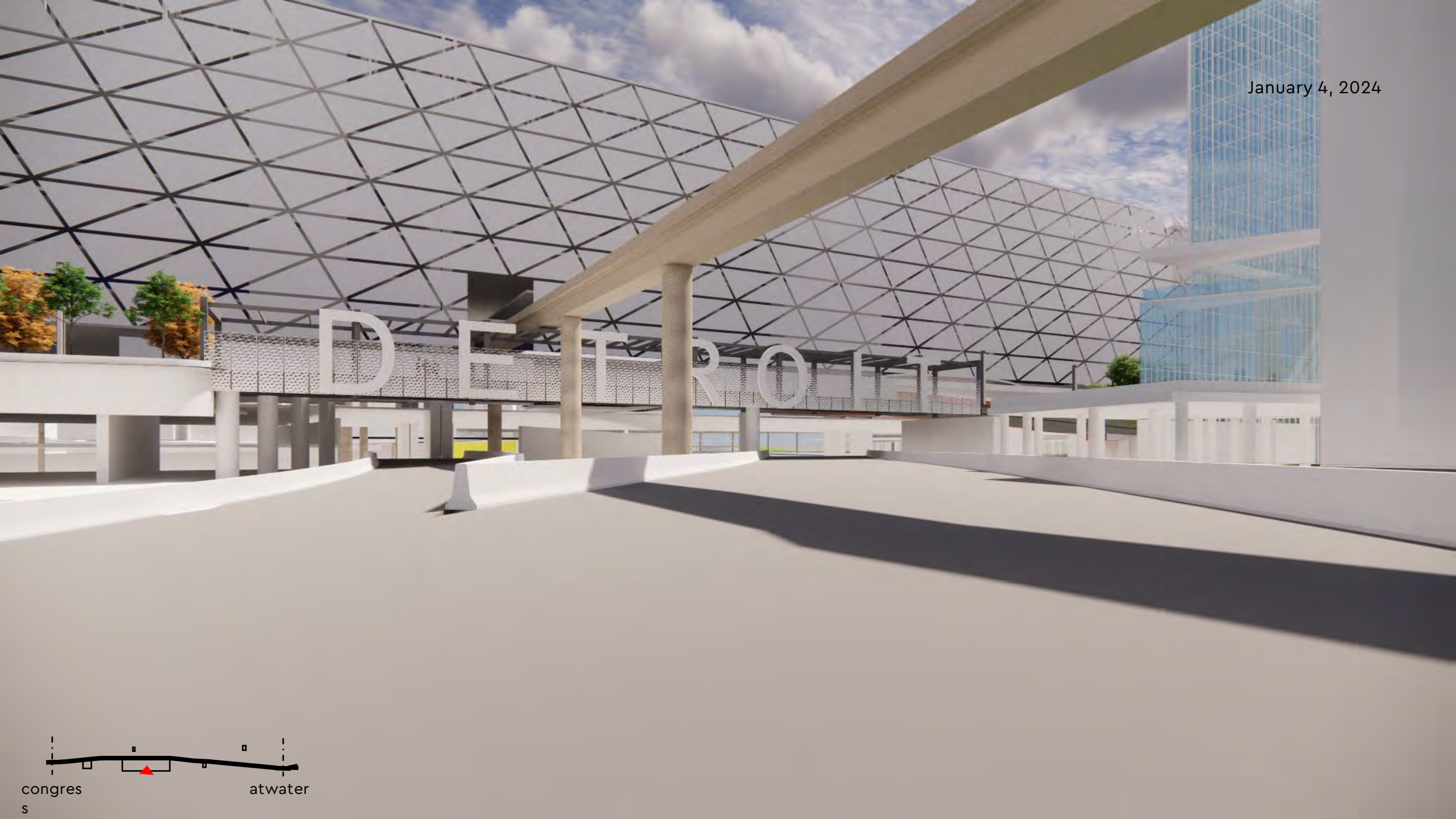


congress  
s

atwater



January 4, 2024



Patriot elm

hackberry

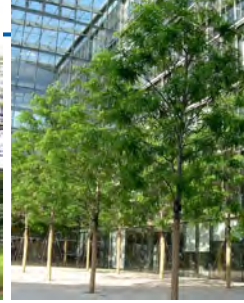
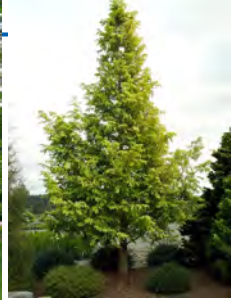
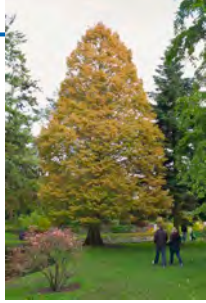
dawn redwood

honey locust

river birch

accolade elm

ginkgo



lilac

crabapple

bald cypress

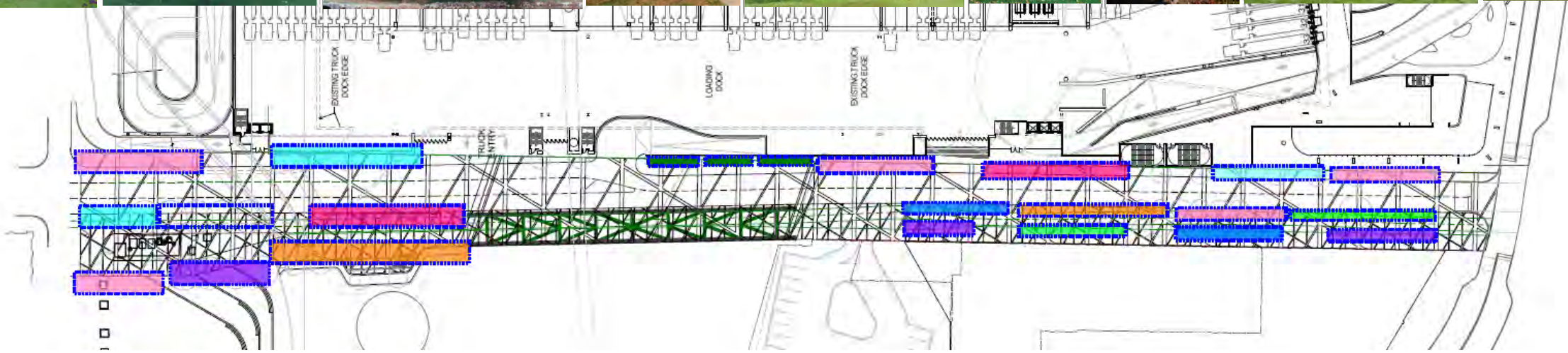
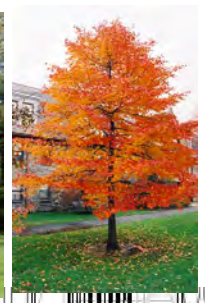
redbud

black gum

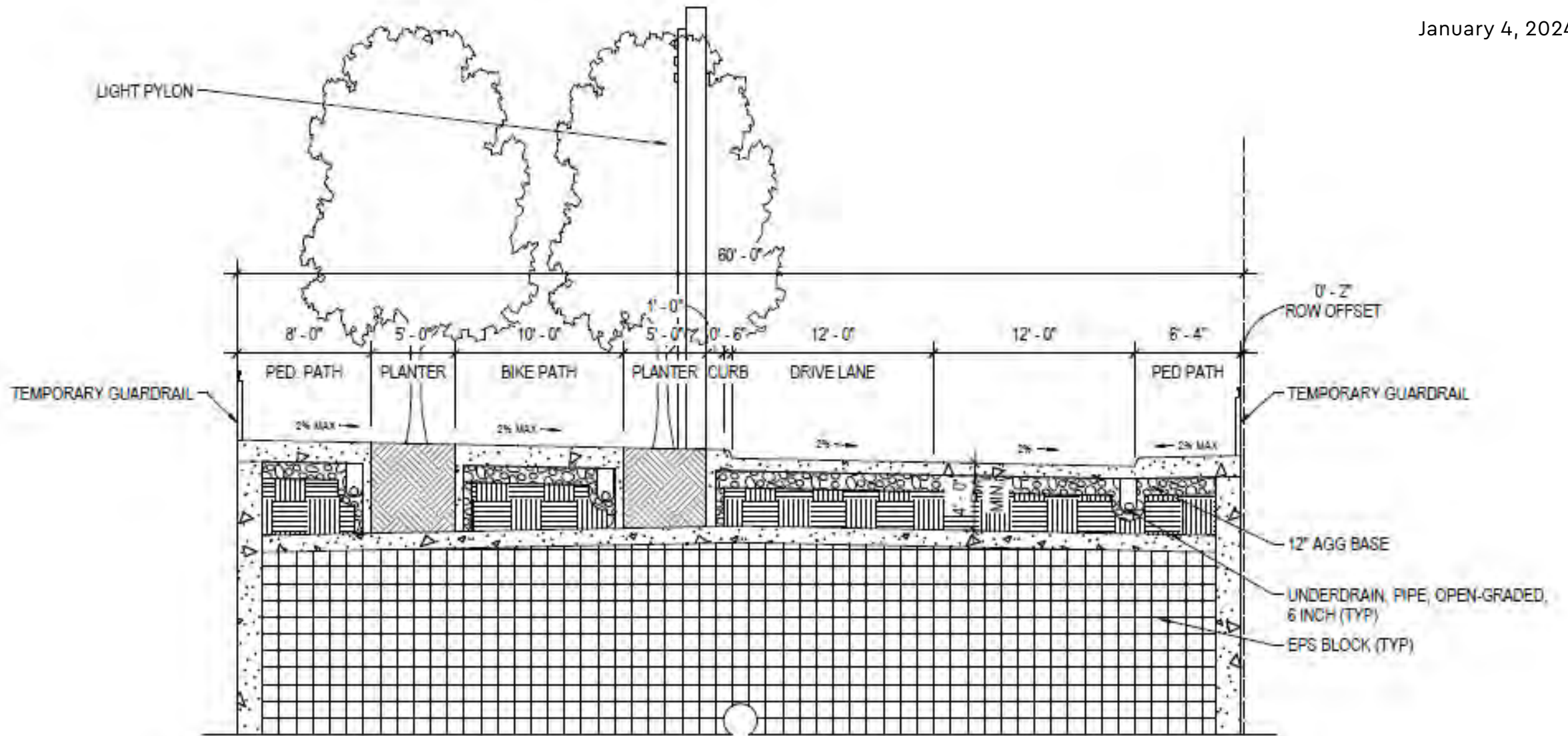
maple

green giant arb

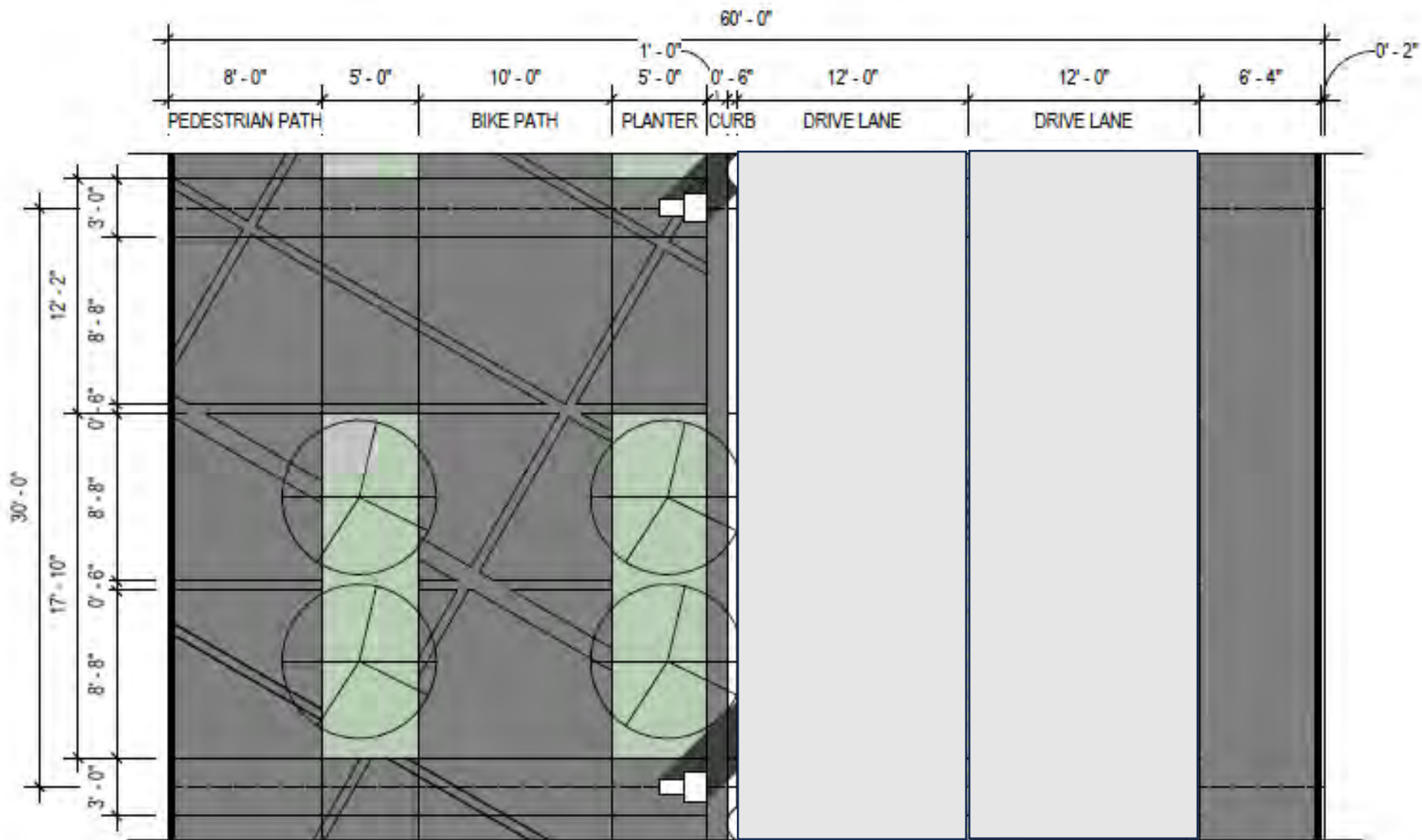
shingle oak



January 4, 2024



January 4, 2024



Listen. Solve. Deliver.



# Conference Center Expansion- Conceptual Timeline

---

January 4, 2024

## Second Avenue Extension

- 100% Foundation wall design, Atwater to M-10 January 2024
- MDOT, Fed Highways, City of Detroit concept approvals January 2024
- 100% Design Completion - Only Phase I (Shared Common Wall) March 2024
- MDOT, Fed Highways, City of Detroit Final Approvals April 2024
- Construction Bid and Award April 2024
- South 520' West Foundation Wall Complete (Shared Common Wall) August 15, 2024
- 2nd Street Phase 1 (Vehicular Drive) - 100% Construction Completion January 1, 2026
- 2nd Street Phase 2 (Pedestrian Walkway) June 2026
- Activation and Closeout July 2026

# Conference Center Expansion- Conceptual Timeline

---

January 4, 2024

## New Parking Deck

- Design Services Bid and Award January 2024
- 100% Design - Approximately June 2024
- City of Detroit Permits, Planning Department Approvals June 2024
- Construction Bid and Award July 2024
- South Half - 100% Construction Completion November 2025
- Helix Removal Completion December - June 2026
- North Half - 100% Construction Completion May 2026
- Activation and Closeout July 2026

# Questions

September 14, 2023

Listen. Solve. Deliver.





